



# CZ-MP-23-04 Homestead at Bryan Farm

Town Council

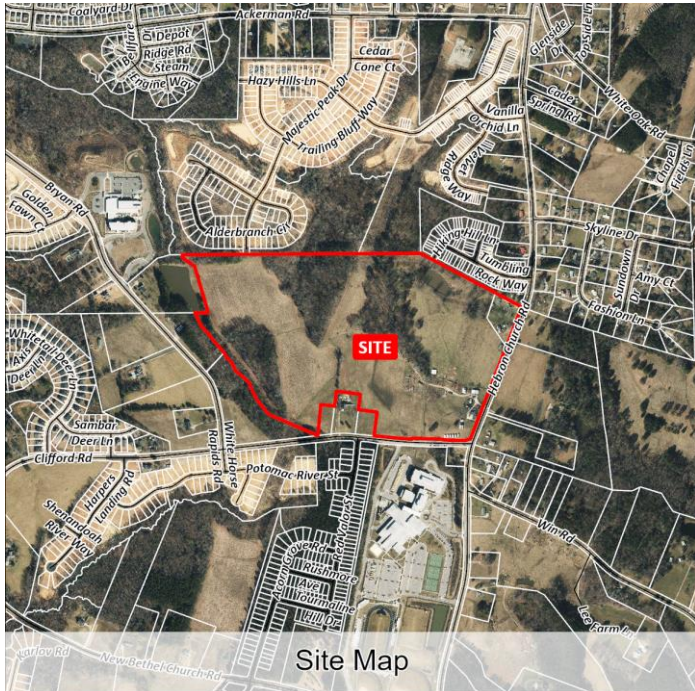
October 8, 2024

# At a Glance

Applicant: Lennar Corporation

Owner: Ben Hagwood, Joyce Hagwood, R A Bryan Farms LLC

Request: Tier 2 conditional rezoning request submitted by the Lennar Corporation to rezone 99.17 +/- acres from Rural Agricultural (RA) to Residential 8 (R8 C306) Conditional for the development of a collective maximum of 256 dwelling units (*note: down from 291 in the original application*) including individual maximums of **98** townhouse units and **158** single-family detached units. This site is located on the west side of Hebron Church Road and north of Clifford Rd. Zoning conditions restricting range of permitted uses and adding commitments above and beyond the requirements of the UDO included.



# Zoning and Context

## Zoning: Rural Agricultural (RA)

- Rural residential, agriculture, silviculture
- Typically found in areas outside the Town’s corporate limits where public water and sewer services are not readily available
- Current Uses – Single-Family Detached and Vacant

## Context

- A mix of R2, R4-C, and CMX surrounds the site.
- The area is undergoing increased development, with several residential projects under construction or in review with town staff.
- Water and sewer are available and will connect from the adjacent Ridgemoor development.



# Proposal

Rezoning: Residential 8 (R8- C306) Conditional

- Narrowed to 2 out of 18 possible uses
  - Collectively, up to a maximum of 256 Dwelling Units (*Note: down from 291 total dwelling units in the original application*)
    - Individual maximum of 98 townhouse units
    - Individual maximum of 158 single-family detached units



# Proposal

## Other Conditions:



2. There shall be a maximum of 256 dwelling units total, including a maximum of 98 townhouse units and a maximum of 158 single-family detached units.
3. A Homeowners Association (HOA) shall be established in accordance with the Town of Garner Unified Development Ordinance. HOA documents must be recorded with the first final plat.
4. The developer will share in the costs of the White Oak White Oak/Bryan Road Corridor improvements identified in the Walters Buffaloe Development Agreement approved the Town of Garner on November 22, 2022. The developer's share of the improvement costs shall be calculated consistent with the terms of Section 6 of the Walters Buffaloe Development Agreement. The developer's method of contribution shall also comply with one of options identified in Section 6 of the Walters Buffaloe Development Agreement.
5. The pool shall be a minimum of 1,500 square feet and
6. The main amenity cabana shall be a minimum of 800 square feet.
7. All slab foundations with an exposed height of greater than 12 inches shall be finished with masonry product - applies to front and side elevations with right of way frontage. All slab foundations with an exposed height of 12 inches or less shall be textured with parging - applies to front and side elevations.

# Proposal

## Other Conditions:



8. Garage doors shall have windows and decorative hardware. A minimum of two garage window styles and two garage hardware styles shall be included in the development.
9. All homes shall have a minimum 12" eaves on all sides.
10. A minimum 80 square feet outdoor deck, porch, or patio is required on all dwelling units. If a porch is chosen, it may be an enlargement of the porch required by the preceding condition and this condition does not require two porches.
11. A minimum 5' x 5' covered front porch is required on all dwelling units. All entry areas must include 1 of the following: sidelights, transom windows, craftsman style paneling, glazing in the door.
12. Any non-decorative front porch columns and/or pilasters shall be a minimum of 6" in dimension (width and/or depth). Decorative columns with variable dimensions may be less than 6" in width or depth.

# Proposal

## Other Conditions:



13. Any cantilevered projection shall have cosmetic brackets or shelf supports directly underneath them.
14. All dwelling units shall have at least one window per habitable floor on each side elevation, excluding interior townhomes.
15. All windows of a dwelling unit, with the exception of accent windows and bay windows, shall feature a common muntin pattern.
16. All windows within a street facing façade face utilizing siding materials shall either be set in full trim at least equivalent to 1x4 board or feature decorative sills and pediments. All windows within elevations clad in brick or stone shall include masonry or decorative sill and lintels.
17. The following is required, but not limited to, in the main amenity: swimming pool, cabana, benches, trash receptacles, and bike racks.
18. A decorative light fixture, a minimum of 6" wide and 12" long, shall be included on all garage door façades.

# Proposal

## Other Conditions:



19. Black aluminum picket fencing shall be provided around wet pond SCMs.
20. Vinyl siding shall be prohibited. Vinyl trim and decorative details are permitted.
21. Construction of the main amenity shall commence prior to the issuance of the first certificate of occupancy for homes in phase 1 and construction of the main amenity shall be completed within 18 months.
22. Each pocket park (except park B) shall contain a minimum of two of the following site elements: benches, pet waste stations, shade structure, playground, dog park, or paved walking trails.
23. All dwelling units shall have either a 2-car garage or a 1-car garage with a size of at least 12'x20'.



# Proposal

## Other Conditions:



24. Attached Dwelling Units (Townhouses) in a building with a pitched roof shall feature a break in the front facing slope or roof peak (such as a gable, dormer, chimney, cupola, etc.) A minimum of 2 breaks for buildings of 4 units or less. A minimum of 3 breaks for buildings of 5 units or more.
25. Existing farmhouse shall be exempt from all architectural conditions listed above.
26. At least one dog park shall be provided in the development.
27. Two play lawns (minimum 10,000 sq ft) shall be provided within the development. Play lawns shall be bounded loosely by landscaping and/or hardscaping features such as trees, shrubs, benches, decorative fence sections, sidewalks, trails, or similar.
28. At least one playground shall be provided in the development.

# Proposal: Master Plan



SITE DATA TABLE	
PIN(S)	1629153996, 162956817
Total Site Area	± 99.17 acres
Overlay District	Lower Swift Creek Overlay
Current Zoning	RA (Garner)
Proposed Zoning	R8 (Garner)
Future Land Use Designation	Residential Neighborhood
Open Space Required (10%)	± 9.92 acres
Open Space Provided	9.92 acres
Improved Park Space Required (25% of Required Open Space)	± 2.48 acres
Improved Park Space Provided	2.48 acres
Tree Coverage Area Required (18% of Project Area)	± 17.85 acres
Tree Coverage Area Provided	17.85 acres
SFD 45'x130' Lots	± 138 lots
28' Townhome Units	± 55 units
22' Townhome Units	± 45 units
Total Townhomes	± 98 units
Total Proposed Dwelling Units	± 256 du
Proposed Density	± 2.58 du/ac
Required Connectivity Index	1.0
Provided Connectivity Index	1.46

LEGEND	
	SIDEWALK
	EXPANDED SIDEWALK (MIN 6-FT)
	EXISTING PUBLIC GREENWAY
	EXISTING PRIVATE GREENWAY
	PUBLIC GREENWAY
	PRIVATE GREENWAY
	FUTURE MULTI-USE PATH
	MAIN AMENITY LOCATION
	TOWNHOMES 28'
	TOWNHOMES 22'
	SINGLE FAMILY DETACHED
	TREE SAVE
	SCM PLANTINGS
	STORMWATER POND
	IMPROVED PARK SPACE

- CONCEPT PLAN NOTES**
- 01 All basic fact information taken from GIS is subject to change unless otherwise stated.
  - 02 Streams and wetlands shown according to determination completed by SKI. G. Station assumes northwestern portion to be drained.
  - 03 All assumptions shown herein are in accordance with current LFO and standards of the State of North Carolina and local, state, federal, or jurisdictional level changes after that date may impact plan.
  - 04 Lighting requirements will comply with the standards set forth in the LFO.
  - 05 Master plan is conceptual, with final layout to be determined at subdivision plan.
  - 06 Tree coverage areas are conceptual with final location to be determined at subdivision plan.
  - 07 Trail networks are conceptual with final alignments to be determined at subdivision plan.
  - 08 Pocket parks fee-in-lieu amount to be determined at subdivision plan.

# Proposal

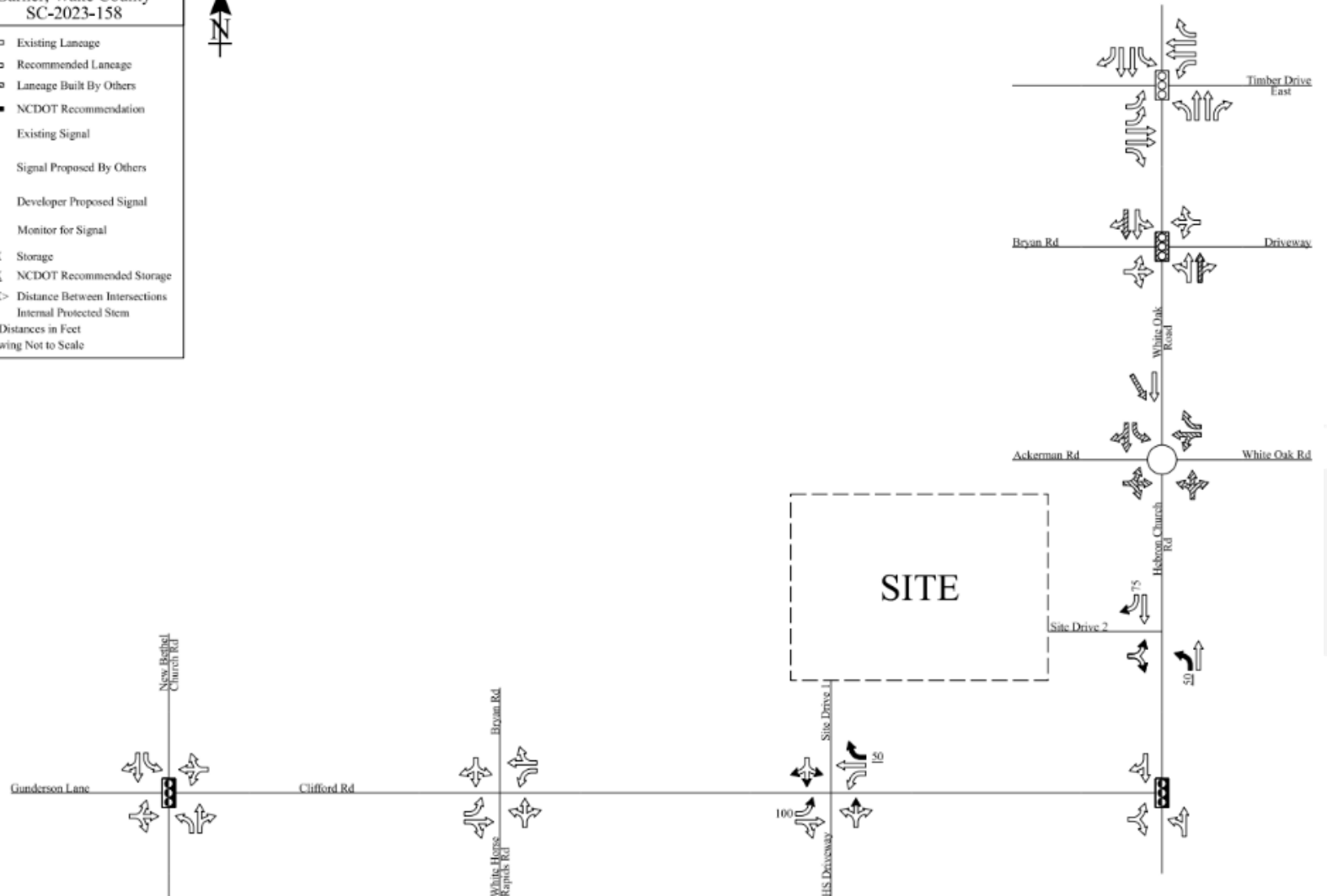


## Transportation Notes:

- Expected 2,313 trips on the average weekday (based on 265 units – 9 units higher than final).
- No off-site improvements are recommended as needed to reflect the limited proportional impact of the added traffic generated by this proposal.
- Figure shows the 2027 future build out lane configuration and the requirement for a new 50-foot dedicated northbound left turn lane on Hebron Church Road and a new 50-foot dedicated westbound right turn lane on Clifford Road.

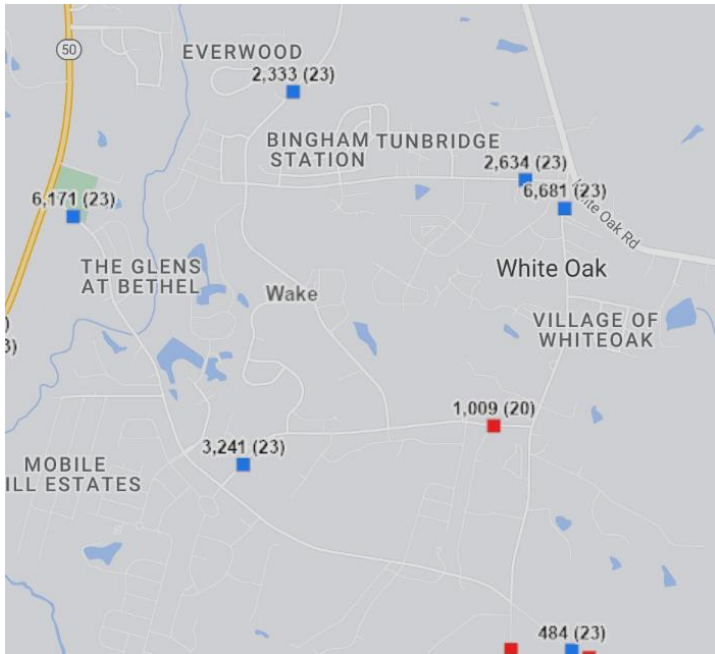
homestead at bryan farms  
Garner, Wake County  
SC-2023-158

	Existing Laneage
	Recommended Laneage
	Laneage Built By Others
	NCDOT Recommendation
	Existing Signal
	Signal Proposed By Others
	Developer Proposed Signal
	Monitor for Signal
XXX	Storage
XXX	NCDOT Recommended Storage
<XXX>	Distance Between Intersections
IPS	Internal Protected Stem
All Distances in Feet	
Drawing Not to Scale	



# Proposal

- Transportation Notes:
- Adequacy of area future road network
  - Analyzed at high level during previous comprehensive plan work – was noted to support medium density residential (2.5-5 du/acre)
  - Staff tested ITE trip estimates – found to be consistent with locally available data
  - Focused analysis on build-out of dwelling units using either Hebron Church or New Bethel Church roads; Ackerman and Bryan – not studied at this time
  - Capacity for over 6,000 more trips (*this figure provided pre-Bethel Green, which drops remaining capacity to just over 4,000*); Build-out south of Clifford/Guy roads should work so long as densities do not exceed current average

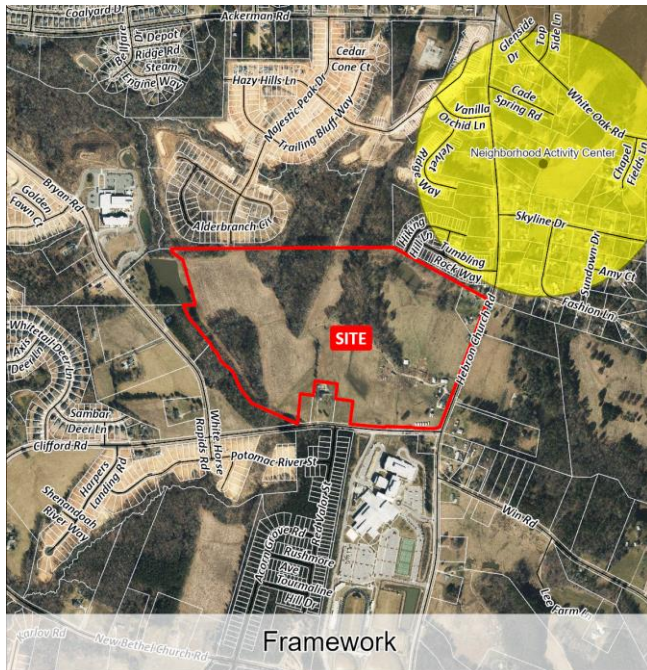


# Review - Framework Consistency

17 Growth Framework criteria evaluated

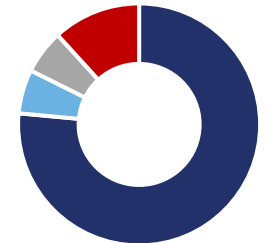
Final results:

- 13 strongly consistent
- 1 modestly consistent
- 1 split
- 0 modestly inconsistent
- 2 strongly inconsistent - Front loaded townhouses; form of small lot single-family detached houses



GROWTH FRAMEWORK CONSISTENCY

- Strong ↑
- Modest ↗
- Split ↔
- Modest ↘
- Strong ↓

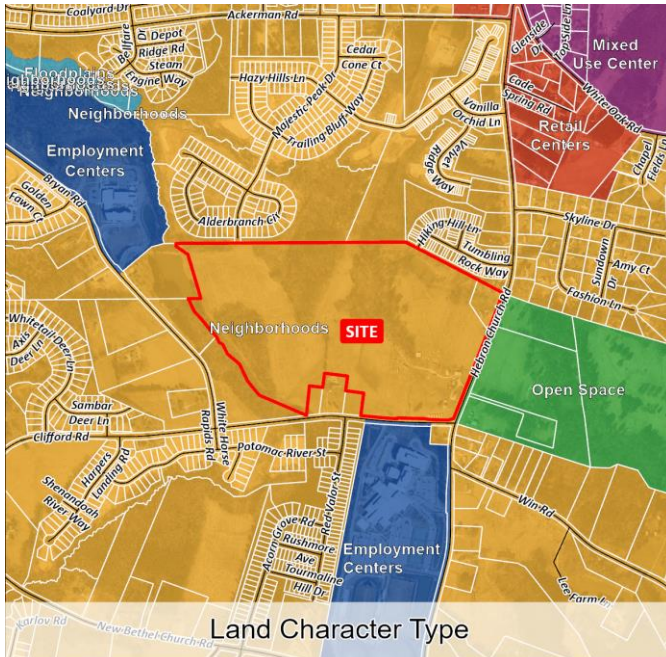


# Review - Land Use and Community Character Consistency

26 criteria determined applicable / possible to meaningfully address

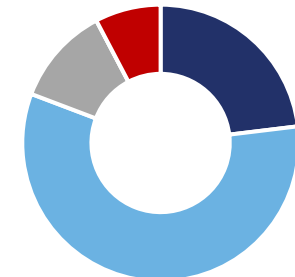
Final results:

- 6 strongly consistent
- 15 modestly consistent
- 3 split
- 0 modestly inconsistent
- 2 strongly inconsistent – lack of green street solutions, lack of home choices for those in plan-targeted demographics



LAND USE AND COMMUNITY CHARACTER CONSISTENCY

- Extra +
- Strong ↑
- Modest ↗
- Split ↔
- Modest ↘
- Strong ↓





# Planning Commission Meeting

Questions and comments from the Planning Commission:

- Clarification regarding the location of the 80 square foot deck,
- Clarification regarding the breakdown of the maximum total units,
- Question regarding the size of the single-family lots and why it was rated inconsistent,
- Question regarding the drainage of the existing pond,
- Appreciate for the renderings of the pocket parks,
- Comment to add another dog park with additional parking,
- Question regarding on street parking,
- Question regarding number of units shown on the masterplan versus the maximum unit count in the condition,
- Question regarding the neighborhood feedback from the neighbors,
- Clarification regarding the existing house and how it will be incorporated into the new neighborhood,
- Question regarding number of access points,
- Question about where the greenway connects and leads to,
- Question about street widths and sufficiency of parking,
- Question regarding the inclusion of affordable housing,
- Comment recommending the removal of vinyl trim and decorative details (condition #20),
- Comment recommending more windows to help increase natural lighting.



# PC Adopted Consistency Statement

We, the Planning Commission, find that in the absence of many strong non-supporting comprehensive plan criteria and a strong level of consistency with the Plan's growth framework, this request to rezone 99 +/- acres from Rural Agricultural (RA) to Residential 8 (R8 C306) Conditional is consistent with the Town's adopted land use plans.





# PC's Motion to Recommend Approval

I move that the Planning Commission accept the consistency statement drafted herein as our own written recommendation regarding the consistency of the request with the Town's adopted land use plans and recommend approval of case number CZ-MP-23-04, with the condition that the maximum unit count matches the quantities shown on the masterplan (158 SFD Detached, 98 Townhomes).



- Motion – Avent, *friendly amendment proposed by Commission Member Carson to change the unit counts to align with the unit counts listed on the master plan.*
- Second – Voiland
- Vote – Unanimous (5-0)



# Reasonableness

1. Consistency (or lack thereof) with the Comprehensive Plan and other adopted plans.
2. Compatibility with the present zoning and conforming uses of nearby property and with the character of the neighborhood.
3. Suitability of the subject property for uses permitted by the current versus the proposed district.
4. Whether the proposed change tends to improve the balance of uses or meets a specific demand in the Town.
5. Availability of sewer, water, transportation infrastructure, stormwater facilities, and other necessary infrastructure generally suitable and adequate for the proposed use.
6. Preservation of key features of the natural environment.



# Draft Motions

See page 111 of the agenda packet for draft motions:

- to find consistent and reasonable (approve), or
- to find consistent and unreasonable (deny).

<i>Approve</i>	① Consistent and Reasonable	② Inconsistent but Reasonable
<i>Deny</i>	③ Consistent but Not Reasonable	④ Inconsistent and Not Reasonable